



Davis Inspection Services, LLC
2821 Palmerston
Troy, MI 48084
Ric Davis, Inspector
(248) 646-5219 DavisInsp@aol.com

CONFIDENTIAL INSPECTION REPORT



XXXX XXXXXXXX
XXXXXX, MI

Table of Contents

Inspection Agreement	2
General Information	3
Receipt	5
Definitions	6
Structure	6
Roof	7
Exterior	8
Lots and Grounds	10
Air Conditioning	12
Garage/Carport	13
Basement	14
Plumbing	16
Electrical	18
Heating System	19
Attic	21
Kitchen	23
Interior Space	24
Fireplace/Wood Stove	27
Laundry Room/Area	27
Bathroom(s)	28
10 Most Common Maintenance Mistakes	32
Maintainence	33
Emergency Planning and Checklists	34
What To Do Now That You Have Read The Report	37
Reference Links	38
Summary	41

Inspection Agreement

Davis Inspection Services, LLC agrees to conduct a visual inspection for the purpose of informing the client of major deficiencies in the condition of the property, subject to the UNCONDITIONAL RELEASE AND LIMITATION OF LIABILITY below. The inspection and report are performed and prepared for the sole, confidential and exclusive use and possession of the client. The written report will only include the following:

Structural condition, basement, electrical, plumbing, hot water heater, heating and air conditioning, kitchen, general interior, including ceilings, walls, windows, insulation and ventilation, general exterior, including roof, gutters, chimney, drainage, and grading

It is understood and agreed that this inspection will be of readily accessible areas of the building and is limited to visual observations of apparent conditions existing at the time of the inspection. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items, and systems will not be dismantled. Vegetation, stored items and furniture will not be moved. Maintenance and other items may be discussed but they are not part of our inspection. The Inspector will not perform any destructive testing or dismantling and will not move any personal property or furnishings. The Inspection also does not include latent or concealed defects, the possible presence or danger from any potentially harmful substance or environmental hazard, including but not limited to radon gas, lead paint, mold, asbestos, urea formaldehyde, electromagnetic waves, fiberglass, toxic or flammable chemicals, odors (including pet odors), and water or airborne hazards. Insect damage (e.g. caused by termites, carpenter ants, etc.) is often concealed and difficult to detect even if the damage is extensive, and insect damage, whether obvious or concealed, is excluded from the Inspection. Because there is a variance in building codes among different municipalities and among different ages of homes, the Inspection does not address compliance with past or present governmental codes and regulations. The Inspection further does not include swimming pools, spas, saunas and hot tubs, including their structures, fixtures and equipment; wells, septic systems, public water and sewer systems, water softeners, and sprinkler systems; security systems, garage door safety mechanisms; central vacuum systems; underground or concealed plumbing and electrical systems; and, systems and components not listed in the Report; unless separately contracted and paid for by the Client.

The parties agree that Davis Inspection Services, LLC and its agents and employees, assume no liability or responsibility for the cost of repairing or replacing any unreported defect or deficiency, either current or arising in the future, or any property damage, consequential damage or bodily injury in the future of any nature. THE INSPECTION AND REPORT ARE NOT INTENDED OR TO BE USED AS A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, REGARDING THE ADEQUACY, PERFORMANCE OR CONDITION OF ANY INSPECTED STRUCTURE, ITEM OR SYSTEM. DAVIS INSPECTION SERVICES, LLC IS NOT AN INSURER OF ANY INSPECTED CONDITIONS. The client agrees that inspections may reduce the risk associated with purchasing real estate but can not eliminate those risks.

UNCONDITIONAL RELEASE AND LIMITATION OF LIABILITY

The client agrees that any dispute, controversy, interpretation or claim, including claims for, but not limited to, breach of contract, any form of negligence, fraud or misrepresentation arising out of, from or related to, this contract or arising out of, from or related to the inspection or inspection report shall be submitted to final and binding arbitration conducted by Construction Arbitration Services, INC. The decision of the Arbitrator appointed there shall be final and binding and judgment on the award may be entered in any Court of competent jurisdiction. In the event that Davis Inspection Services, LLC and/or its agents or employees are found to be liable due to breach of contract, breach of warranty, negligence, negligent misrepresentation, negligent hiring or any other theory of liability, then the liability of Davis Inspection Services, LLC and/or its agents and/or employees shall be limited to a sum equal to the amount of twice the fee paid by the Client to Davis Inspection Services, LLC for the inspection and report.

Client and Davis Inspection Services, LLC agree that should a Court of competent jurisdiction determine and declare that any portion of this Agreement is void, voidable or unenforceable, the remaining provisions and portions shall remain in full force and effect. THE CLIENT AGREES THAT THEY HAVE THE RIGHT TO REVIEW THIS AGREEMENT WITH AN ATTORNEY BEFORE SIGNING. Acceptance and understanding of this agreement are hereby acknowledged:



Client Signature:

Inspection Date 3/23/12



Inspector Signature:

Inspection Date 3/23/12

General Information

This building is being visually inspected in accordance with NAHI National Association of Home Inspectors Standards of Practice. The inspector will follow these standards of practice and code of ethics while performing this inspection and delivering you a written report. You can view these NAHI Standards of Practice and Code of Ethics at:

<http://www.nahi.org/about-us/nahi-standards-of-practice-code-of-ethics/>

This inspection and report is for the purpose of identifying visible major defects and deficiencies which might affect your decision whether to purchase. Although minor problems may be mentioned, this report does not attempt to list them all. You are urged to accompany the inspector during the inspection. Many things can be pointed out to you as to where things are and how they work. This report is a summary of the inspection. Many things may be verbalized regarding defects and deficiencies that may not be listed in the report. It is important that you understand what a visual inspection can tell you about the building and what it can't. There are limitations as to what an inspector can find in a visual inspection. Since this is a visual inspection, the inspection is limited to accessible areas only. The inspector can not see into walls or does not perform technically exhaustive tests on equipment. Furniture and stored items will not be moved. The inspector does not lift carpets or large rugs. The inspector does not remove panels or dismantle any items or equipment. If the utilities are shut off the inspector will not turn them on. The inspection of these items will be inconclusive. No inspection is made by Davis Inspection Services, LLC to detect past or present insect boring activity or rot. We recommend that you contact a qualified exterminator should you desire more information or a possible examination of the building and/or a warranty. Environmental issues will not be part of this inspection. Determining the presence or condition of buried oil tanks is not part of this inspection. It is recommended that a qualified professional further evaluate the property to determine the presence and condition of buried oil tanks.

Throughout your report where the age of mechanicals, roofs, etc. is stated, the age is approximate. It is not possible to be exact regarding age, but an effort is made to be as accurate as possible based on the visual evidence available at the time of the inspection. When any item is reported to be acceptable it means that it should give generally satisfactory service within the limits of its age. This report is not a guaranty or warranty. A visual inspection cannot eliminate all of the risk in purchasing. You can purchase warranty programs that can insure you against failure of some of the major systems of the building. Buyers may overlook important information and warnings that were pointed out during the inspection. This can result in failure of equipment or other damage which could have been prevented if the inspector's advice would have been followed.

SWIMMING POOLS & POOL EQUIPMENT, JACUZZIS, HOT TUBS, SAUNAS, GREENHOUSES, DECORATING/COSMETICS, GENERATORS& SUPPLEMENTAL WIRING, DOCKS, SEAWALLS, INFESTATION OF ANIMALS & INSECTS, MOLD, LAWN SPRINKLER SYSTEMS, WELL AND PUMP, POOL HOUSE, EXTERIOR LIGHTING SYSTEMS, ENVIRONMENTAL ISSUES, OUTDOOR BARB-B-Q AND FUEL SUPPLY CONNECTIONS, FELINE AND OTHER PET URINE & OUT BUILDINGS/SHEDS ARE BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL.

This is our report of a visual inspection of the readily accessible areas of this building, in accordance with the terms and conditions contained in the PRE-INSPECTION AGREEMENT, which is part of this report and incorporated herein. Anything not listed in this report has not been inspected. This report is a summary of the more detailed report that was discussed with you at the inspection site. It is sometimes possible for clerical errors to occur. If this written report does not appear to coincide with the on site verbal report you received, or it appears to be significantly different in some areas please notify us. Prior to closing you should check any currently not visible areas for problems and address them at that time. Please read the REMARKS printed on each page and call us at (248) 646-5219 for an explanation of any part of this report which you do not fully understand. THANK YOU FOR USING OUR SERVICE!

Client Information

Client Name **XXXX XXXXXXXXXXXX**

Property Information

Property Address **XXXXX XXXXXXXXXXXX**
City **XXXXXX** State **MI**

Inspection Company

Inspector Name **Richard Davis**
Company Name **Davis Inspection Services, LLC**
Address **2821 Palmerston**
City **Troy** State **MI** Zip **48084**
Phone **(248) 646-5219**
E-Mail **DavisInsp@aol.com**

Conditions

General Information (Continued)

Others Present **Client, Clients Spouse**
Property Occupied **Yes**
Estimated Age **1980's**
Inspection Date **3/23/12**
Building Type **Single family**
Sewage Disposal **Public How Verified Client**
Water Source **Public How Verified Client**
Temperature **35-45 Degrees**
Weather **Sunny** Soil Conditions **Sunny**
Gas/Oil On **Yes**
Water On **Yes**
Electric On **Yes**
Start Time **9:00 PM** End Time **11:30 AM**

Receipt

Client Name **XXXX XXXXXXXXXXXX**
Property Address **XXXXXX XXXXXXXXXXXX**
City **XXXXXX** State **MI**
Zip

Date Of Service(s): **3/23/12**

Type Of Service(s) Provided: **Visual home inspection**

Payment Type: **Cash**

Payment: **\$465**

Balance Due: **None**

Thank You For Using Our Service!

Definitions

The inspection and report are not intended to be used as a guarantee or warranty, expressed or implied, regarding the adequacy, performance or condition of any inspected structure, item or system. Davis Inspection Services, LLC is not an insurer of any inspected conditions. There are warranty programs which can be obtained from independent companies to insure you against failure of some of the major systems in the building. The report reflects the conditions and operations of items the day of the inspection only. Remember that all mechanical items are prone to unpredictable failures. We strongly recommend that you investigate any insurance claims that may have been made against this property. Claims made can reveal clues of past damage that has occurred to the property that have since been repaired or concealed that may affect the property or your ability to insure it.

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

- Acceptable** **Functional with no obvious signs of defect.**
- Not Present** **Item not present or not found.**
- Not Inspected** **Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection. The complete function or operation could not be determined. Inspection of these items should be considered incomplete.**
- Marginal** **Item is not fully functional and requires repair or servicing. Item may be operational but is approaching or has reached life expectancy. Repairs or replacement should be expected.**
- Defective** **Item needs immediate repair or replacement. The item is unable to perform its intended function, failing or presents a safety hazard. These items should not be ignored in that they can lead to more property damage and problems or life safety issues.**
- Not Applicable** **Does not apply**

Structure

The inspection of the structure will be of readily accessible areas of the building and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled. The finished areas of the basement conceal the foundation walls and floor structure from evaluation.

Galvanized hangers/connectors/gusset plates in contact with treated wood may corrode and fail. It is recommended that additional testing by a qualified professional be done to determine structural integrity.

Structural defects and deficiencies can not always be determined in a one time visit to the building. Indications of structural defects and deficiencies, if present, can be concealed behind furniture, finished areas or storage. Any structural issues pointed out during this inspection should be further evaluated by a qualified professional to determine the extent and cost for repairs that may be required before completing the purchase.

- Acceptable** Structure Type: **2 Story**
- Acceptable** Overview:
- Acceptable** Differential Movement: **Normal for age**
- Marginal** Foundation: **Poured** **Patching noted, Cracks observed, Monitor and repair as needed**
- Acceptable** Floor Structure: **Wood** **Flooring structure covered with finishes is not visible for evaluation**



- Marginal** Roof Structure: **Wood** **Moisture staining noted at eaves suggesting poor ventilation, Mold, Monitor and repair or replace as needed**
- Acceptable** Stairs/Handrails: **Wood stairs with wood handrails**

Roof

The roof inspection will be of readily accessible areas and is limited to visual observations of apparent conditions at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items, and systems will not be dismantled.

Flat or low pitched roof leaks are common in this climate. Expect them. The inspector will make all attempts to walk the surface of the roof providing that is safe to do so. Steep pitch, snow, ice, frost, dew or water may prevent safe access to the roof surface. Lack of access to the roof surface may limit the complete evaluation of the roof. If the roof is not fully accessed the roof inspection should be considered not completed. It is strongly recommended that you get the roof further evaluated before closing. Some roofing materials may be damaged by surface walking and are only evaluated from the ground, from windows or with binoculars. If the roof has a gravel covering evaluation is limited. Leaking or potential to leak is difficult to detect unless the gravel is removed exposing the roofing material below. Roof penetrations and valleys are particularly vulnerable to leaks. Keep these areas properly sealed to reduce the risk of leaks. Flat capped chimneys have a history of problems. This type of chimney is prone to leak, expect it. The leaks can rot out a chase without any visible clues. It is important that you periodically have a qualified professional inspect these types of chimneys and take corrective actions as soon as leaks are detected.

When the report indicates that the roof is "acceptable", that means acceptable for its age and general usefulness. A roof which is stated to be acceptable may show evidence of past or present leaks or may soon develop leaks. However, such a roof can be repaired and give generally satisfactory service within the limits of its age.

Asphalt or fiberglass shingle roofs have a normal life of 15-20 Yrs. Rolled roofing may last only 5-10 Yrs. A built-up type roof normally lasts 15-20 years, if they drain properly. If there is standing water on the roof the rate of deterioration is doubled. Wood shingles and shakes can last up to 30-45 years if properly maintained. Slate roofs should last 30-75 years depending on the grade of slate. Metal roofs can last a very long time providing the surface is properly maintained. Clay tile roof should last 30-50 Yrs. Multiple layers can as much as double the deterioration rate. If no water and ice shield protection has been installed expect ice damming leaks and damage.

TV ANTENNAS AND SOLAR COLLECTORS ARE BEYOND THE SCOPE OF THIS INSPECTION. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL IN THAT FIELD.

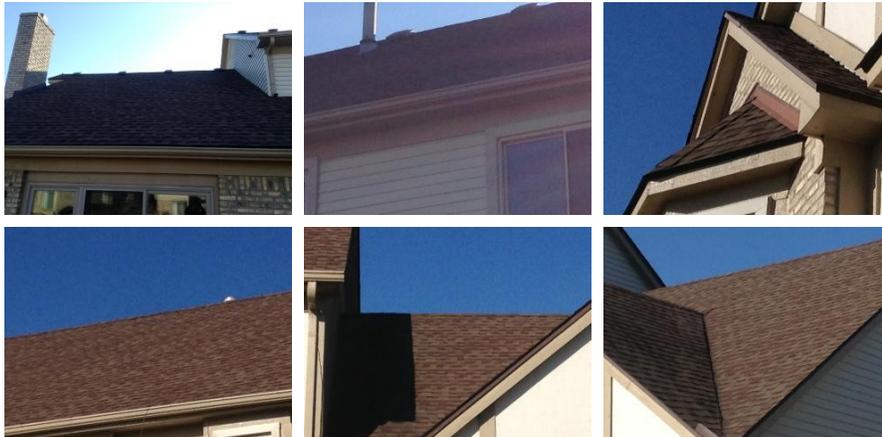
Method of Inspection: **Ground Level**

Type: **Gable**

Approximate Age: **Newer**

Marginal

Overview: **Some areas will tend to hold snow, ice and water and will be prone to leaks, Monitor and repair as needed**



Acceptable

Roof Surface Composite



Roof (Continued)

Defective

Flashing: **Metal** **Loose, Lifted areas vulnerable to leaks, Monitor and repair as needed**



Marginal

Gutters: **Aluminum** **Install down spout extensions to improve exterior water control and reduce the risk of water leakage around foundation, Gutters have negative flow and are holding water, Monitor and repair or replace as needed**



North, Roof Top Chimney

Marginal

Chimney: **Brick** **Missing rain cap, Monitor and install as needed**



Roof Top Chimney

Acceptable

Chimney: **Metal pipe**



Exterior

The inspection of the exterior surfaces and components will be of the readily accessible areas and is limited to visual observations of apparent conditions at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled.

The installation and type of siding materials does not eliminate the risk of water intrusion. All sidings can leak if not properly maintained. Periodic maintenance may be required to reduce the risk of leaks which may include but not be limited to sealing all exterior siding penetrations or the siding material itself. All areas where joints are located should be caulked regularly to reduce the risk of water intrusion and damage. No siding material should be considered maintenance free. The inspector can not see inside walls to determine if water intrusion has occurred or if damage has resulted as a result of any intrusion. Exterior siding may be concealing defects not visible during a visual inspection.

Hardboard, Composite, Stucco and EIFS (exterior insulated foam siding) type sidings have proven to be disastrous as far as performance. These types of siding have a history of failures that can cause additional damage to other systems and structure of the building. These types of siding require that the siding is installed strictly to the manufacturers specifications. The maintenance must be strict and timely to reduce the risk of failures. Water and weather exposure will cause these products to fail. Class actions suits have been filed nationally but may not cover the costs associated with repairing or replacing the siding and the damages failure can cause. If this building has these type sidings a potentially costly deficiency may exist. It is strongly recommended that you get closure regarding this matter.

Exterior (Continued)

SWIMMING POOLS & POOL EQUIPMENT, JACUZZIS, HOT TUBS, SAUNAS, GREENHOUSES, DECORATING/COSMETICS, GENERATORS& SUPPLEMENTAL WIRING, DOCKS, SEAWALLS, INFESTATION OF ANIMALS & INSECTS, MOLD, LAWN SPRINKLER SYSTEMS, WELL AND PUMP, POOL HOUSE, EXTERIOR LIGHTING SYSTEMS, ENVIRONMENTAL ISSUES, OUTDOOR BARB-B-Q AND FUEL SUPPLY CONNECTIONS, & OUT BUILDINGS/SHEDS ARE BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL.

Marginal

Overview: Areas open and vulnerable to water infiltration, Caulking defects, Composite siding has a history of problems expect failures, Rotted wood, Swelled composite siding, Damaged siding, Evidence suggesting poor or neglected maintenance, Peeling paint and bare wood, Monitor and repair or replace as needed



Marginal

Vulnerable to Water Infiltration? Yes, seal all exterior areas vulnerable to water intrusion



Marginal

Trim: Wood Damaged, Wood rot, Open areas vulnerable to water intrusion, Peeling paint and bare wood, Caulking defects, Checked and weathered wood, Monitor and repair or replace as needed



Exterior (Continued)

Marginal Siding **Wood, Composite material, Brick** **Paint peeling, Wood rot, Penetrations, Damaged, Areas vulnerable to water intrusion, Caulking defects that present opportunities for water intrusion, Composite siding has a history of failures when not properly installed or maintained, Monitor and repair or replace as needed**



Acceptable Entry Doors: **Metal**



Acceptable Windows: **Vinyl covered wood**
Marginal Exterior Lighting: **Surface mount** **Caulk round fixtures to reduce risk of water infiltration**



Acceptable Exterior Electric Outlets: **110 VAC GFCI**

Acceptable Hose Bib(s): **Rotary**

Lots and Grounds

The inspection of the lots and grounds will be of readily accessible areas and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection. The presence of buried fuel storage tanks is beyond the scope of this inspection. A qualified professional should further evaluate the property for the presence of any buried fuel storage tanks. No equipment or measuring devices are used to determine water drainage from the property or the potential for drainage from adjacent property to this property. The geological characteristics of soil or potential environmental conditions on or affecting this property are beyond the scope of this inspection. The evaluation of the potential for flooding or a high water table on this property is beyond the scope of this inspection. If the grounds are snow covered the lots and grounds portion of this inspection should be considered incomplete.

Defects and deficiencies to the grade can cause water problems to to the building. Roof and surface water must be controlled to maintain a dry basement. Properly functioning gutters with extensions discharging water away from the building will help. A positive grade of approximately 1 inch per foot slope for at least 5 feet from the foundation wall is recommended. Any defects to the grade should be corrected to reduce the risk of water problems and damage.

Steps should have handrails and porches or decks should have railings to reduce safety risks. Deck or balcony joist/ledger connections in contact with treated wood may corrode and fail. The joist/ledger connections on all wood decks/balconies should be further evaluated and tested by a qualified professional to determine structural integrity.

DETERMINING THE PRESENCE OF BURIED FUEL STORAGE TANKS OR OTHER ENVIRONMENTAL ISSUES AND PROPERTY WATER DRAINAGE IS BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL IN THAT FIELD.

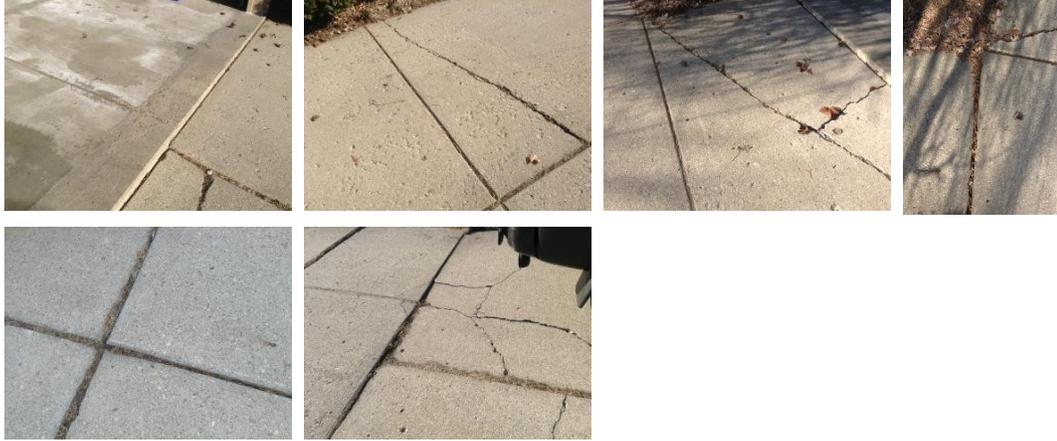
Defective Overview: **Poor exterior water control expect basement water, Trip hazards at sidewalk, Trip hazards at driveway, A qualified contractor should further evaluate to determine scope of work and cost**



Lots and Grounds (Continued)

Defective

Driveway: Concrete Heavy cracks in surface, Heaves in concrete causing trip hazard, A qualified contractor is recommended to evaluate and estimate repairs



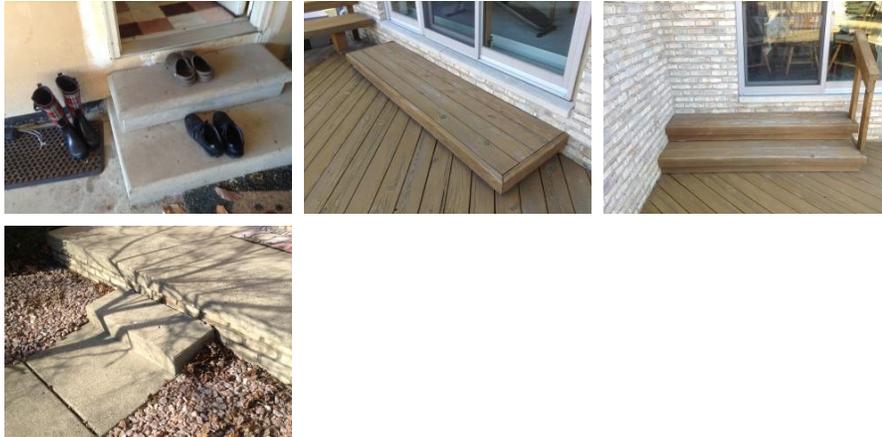
Defective

Walks: Concrete Trip hazard, Heaved, Concrete pitted and chipped, Recommend a qualified contractor to further evaluate for repairs, replacement and cost



Defective

Steps/Stoops: Concrete, Wood Loose steps, Inconsistent riser is a trip hazard, Weathered and checked wood, Rotted wood steps, A qualified contractor is recommended to evaluate and estimate repairs



Acceptable

Porch(s): Concrete, Brick



Lots and Grounds (Continued)

Marginal

Deck(s): Stained wood Peeling stains, Checked and weathered wood, Open to vermin, Monitor and repair or replace as needed



Defective

Grading: Negative slope Improper soil slope towards foundation, recommend the addition of fill dirt to improve grade, Grading has negative slope and water is pooling against the foundation. Expect leaks to the basement due to improper exterior water control, Recommend a qualified contractor further evaluate for repairs, replacement and cost



Acceptable

Vegetation: Shrubs, Trees

Air Conditioning

The inspection of the air conditioning unit(s) will be of readily accessible areas and is limited to the visual observations of the apparent conditions at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled. Window units are not tested or evaluated. Units that are covered will not be uncovered and tested. Breakers or fuses in the off position will prevent testing of the unit. If the power is shut off to this unit the inspection should be considered incomplete. It is strongly recommended that you get closure regarding this system.

The major components of an air conditioning unit are the compressor and the condensing coil. The life expectancy of a compressor in this climate is 8-12 years; a condensing coil may last longer. The estimated age of a condensing unit is taken from the specification plate. Sometimes the compressor, which is not visible, may have been replaced since the original installation. A/C units can be damaged if operated when the temperature has not been above 65 degrees for the previous 24 hour period. A/C units are mechanical devices subject to unpredictable failures. Do not completely cover the outside compressor units for winter or moisture will be trapped inside and rust may occur.

COOLING DISTRIBUTION AND EFFICIENCY IS BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL.

Exterior AC System _____

Type: Central A/C Capacity: Central A/C

Air Conditioning (Continued)

Defective

A/C System Operation: **Not Tested** The unit is currently in service beyond the manufactures stated design life, To avoid possible compressor damage due to outside temperature below 60 degrees, the unit was not tested. Compressor not level, Expect to replace unit in the near future, Have further evaluated by a qualified contractor for repair or replacement costs



Acceptable

Refrigerant Lines: **Serviceable condition**



Acceptable

Electrical Disconnect: **Near unit**



Garage/Carport

The inspection of the garage/carport will be of the readily accessible areas and limited to visual observations of the apparent conditions at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items, and systems will not be dismantled. Cars parked in the garage limit the visual inspection. Storage in the garage/carport limit the visual inspection.

The safety reversing mechanism on the garage door openers, if present, should be periodically checked and adjusted for proper operation. Improper adjustment is considered a safety condition that could cause injury or death.

Side Garage

Type of Structure: **Attached**

Defective

Overview: **Exterior same as home, Water stained and damaged areas noted suggesting past leaks, Door opener not reversing when resistance is met, Have a qualified contractor further evaluate for repair, replacement and cost**



Garage/Carport (Continued)

Acceptable Structure: **Wood**
Acceptable Entry Doors: **Metal**
Defective Door Opener: **Functional** **Not reversing properly with resistance, Adjust for safety**



Acceptable Slab: **Poured slab**



Acceptable Electrical: **110 VAC GFCI**



Basement

The inspection of the basement will be of readily accessible areas and is limited to visual observations of apparent conditions at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items, and systems will not be dismantled. Any finished areas of the basement conceal the foundation walls and floor structure from evaluation. If access is restricted the inspection should be considered incomplete. It is strongly recommended that you get closure regarding this system.

Experience shows that there are two kinds of basements; basements that leak and basements that are going to leak. The risk of leakage can be influenced by several conditions, exterior water control away from the foundation wall being most significant. Seepage that occurs a couple of times a year may not be considered a problem worth the expense of waterproofing. Waterproofing should be considered a last resort once all other options for remedy of the water problem have been exhausted. When water proofing types of repairs are noted, it is suggested that you get closure from the previous home owner regarding these repairs. The source of water that was originally was getting into the basement may not have been addressed with these types of repairs. You should find out if there is a transferable warranty that can protect you in the event that these repairs fail. Your report will still reflect that there was a water problem and that there is a high risk of future water problems in the basement because these types of repairs can be unreliable in eliminating water problems indefinitely.

Experience indicates that a finished basement provides a higher risk of mold, especially if the basement is damp and is finished with materials that are a food source for mold. If the basement is finished with materials that are not specifically treated to inhibit mold growth, the basement should be considered a higher risk for mold problems. The more potential for water or dampness, the more risk for mold exists.

Reduction of basement dampness or water, whether slight or extensive, can usually be accomplished by one or both of the following actions: realigning gutters and extending down-spouts to discharge some distance from the building; and re-grading within 5 feet of the building so that the slope goes away from the building rather than toward it. A minimum recommended slope away from the building is a 5-inch drop over a 5 foot distance (one inch per foot). Dehumidifier(s) may help as well. The dryer the basement the less risk for mold.

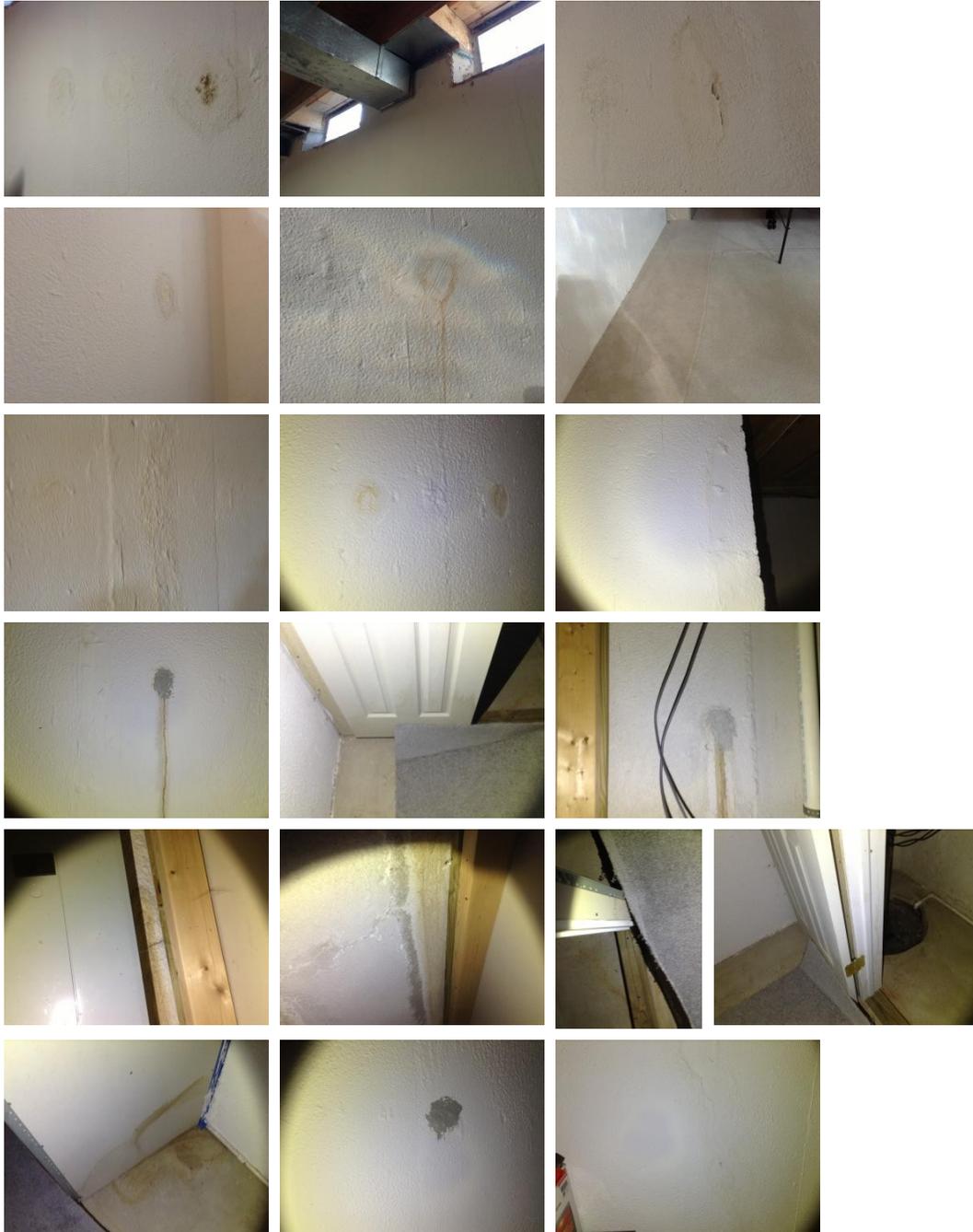
Main Basement

Defective **Vulnerable to Water Infiltration? Yes, Correct exterior water control to reduce risk of basement water, Monitor cracks for leaks and repair as needed, Monitor rod holes for leaks and repair as needed, Evidence suggesting past water infiltration to the basement, Have the basement further evaluated for scope of work and cost to correct problems**

Basement (Continued)

Defective

Overview: Evidence of water intrusion expect future problems, Expect water in basement due to poor exterior water control, Carpeting installed on the floor may provide a food source for mold, Efflorescence noted suggesting water leakage, Glass block windows restrict safe second egress out of basement, Patching noted at rod holes and cracks, Monitor rod holes for leaks and repair as needed, Monitor cracks for leaks and repair as needed, Water stain streaks running down the walls suggesting exterior siding water infiltration issues, Have the basement further evaluated to determine scope of work and cost to correct problems



Basement (Continued)

Overview: (continued)



Acceptable
Marginal

Floor Drain: Surface drain
Sump Pump: Submerged **Secure the cover for safety, Recommend installation of water-powered or battery powered back-up sump pump to protect basement finishes**



Plumbing

The inspection of the plumbing will be of the readily accessible areas and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items, and systems will not be dismantled. If the water is shut off to this building, the inspection of the plumbing system and its components should be considered incomplete. It is strongly recommended that you get closure regarding this system.

Drain pipes on older buildings are subject to damage from tree roots or other exterior conditions. The drain lines are buried in the ground and therefore not possible for the inspector to evaluate during this visual inspection. Any home that has large trees on the property or that is over 20 years old has an increased risk of drain line problems. Any building that meets this criteria should have the drain lines further evaluated by a qualified professional. Any original galvanized plumbing would be considered past expected life, expect failures. Lead water feeds should be considered a high risk for failures and potentially a health risk. PB/PEX pipes have a history of failures if not properly installed and should be considered a repair or replacement item. Water heaters have a life expectancy of 8-12 years. A 30 gallon water heater should be sufficient for a 3-5 person household. A 40 gallon water heater should serve 4-6 people. A 50 gallon water heater should serve 5-8 people.

Shut off and drain all exterior hose bib's for the winter to reduce the risk of pipes bursting from water freeze. Hose bib's will not be tested in the winter.

WELL & PUMP, SEPTIC SYSTEMS AND WATER SOFTENERS & CONNECTIONS TO THESE ITEMS AND CONCEALED WASTE LINES AND SUPPLY LINES ARE BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL.

Marginal

Overview: **Evidence of past leaks, Amateur workmanship noted, Improperly**

Plumbing (Continued)

Overview: (continued)

sloped drains, Monitor and correct or repair as needed

Acceptable

Main Supply: Copper



Acceptable

Main Water Shutoff: Basement



Acceptable

Supply Lines: Copper

Acceptable

Drain Lines: PVC

Defective

Gas Supply Lines: Cast iron Leaking, Leaks marked with blue painters tape, Have a qualified contractor further evaluate for repairs, replacement and cost



Basement Water Heater

Type: Natural gas Capacity: Natural gas

Approximate Age: Past life expectancy expect to replace

Marginal

Water Heater Operation: Functional at time of inspection Water heater has exceeded design life, Functional at time of inspection, Expect to replace in the near future



Acceptable

TPRV and Drain Tube: Copper



Electrical

The inspection of the electrical system will be of readily accessible areas and is limited to visual observations of apparent conditions at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled. Some electrical information will be included in other sections of this report. Example: The exterior section will contain information about the electrical service cables, meter and outlets. Please read the entire report before coming to any conclusion regarding any one system.

Electrical wiring can not be checked inside walls, outlets, and switches unless dismantling or destructive means are employed, which is outside the scope of this visual inspection. Any lights on sensors are not checked. A discretionary safety upgrade would be GFCI outlets at all potentially wet areas, if not already installed. The GFCI outlets should be tested monthly to ensure they are functioning. Aluminum wiring used for 110 branch circuits is considered a safety risk. Painted outlets should be replaced. Loose outlets and switches should be corrected. Ungrounded and reversed polarity outlets are considered a safety risk. If the power is shut off to this building the inspection should be considered incomplete. It is strongly recommended that you get closure regarding this system. It is also very important that properly operating smoke and C.O. detectors are installed before the home is occupied.

Any electrical defects and deficiencies listed are considered a high priority item for repairs and replacement due to the potential for fires or electrocution. It is strongly recommended that if defects or deficiencies of any kind were found that you realize that it may be just the tip of the iceberg. Any amateur wiring may indicate that other problems may exist that are impossible to fully discover in a visual inspection. Every attempt will be made to find potential safety risks and list them in this report. You should have the electrical further evaluated by a qualified professional to more fully assess the system.

LOW VOLTAGE ELECTRICAL ITEMS, GENERATORS & SUPPLEMENTAL WIRING ARE BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL.

Service Size : 100 Amp



Volts: 120-240 VAC
Conductor Type: Aluminum
Basement Electric Panel

Maximum Capacity: 100 Amps

Marginal

Main Breaker Size: 100 Amps

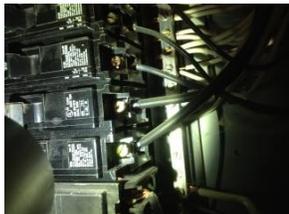
Missing screws at panel cover, Correct as needed



Marginal

Breakers: Copper and Aluminum

No antioxidant gel at aluminum connections, Have applied by a licensed electrician



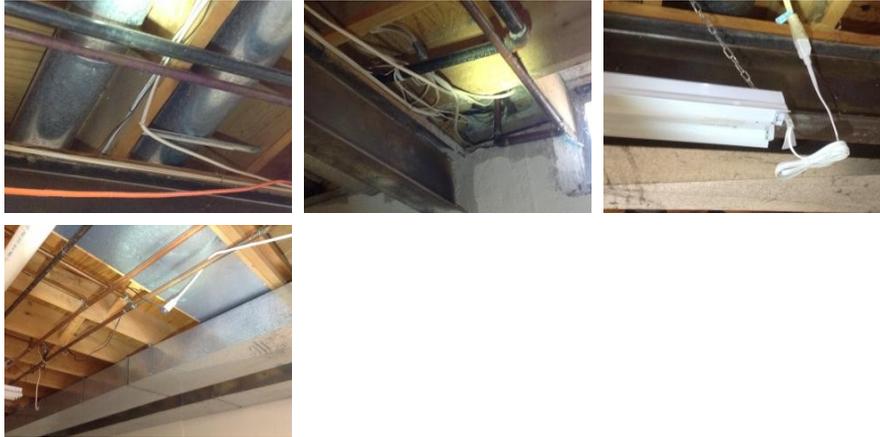
Acceptable

GFCI: At GFCI receptacles

Electrical (Continued)

Marginal

Overview: Amateur wiring, Loose wiring, Improperly secured wiring, Wiring running under joists, Monitor and repair as needed



Acceptable
Acceptable

Exterior electrical cables:
Ground: Plumbing and rod in ground

Heating System

The inspection of the heating system(s) will be of the readily accessible areas and is limited to visual observations of the apparent conditions at the time of the inspection only. No equipment or testing device will be used to test the unit(s). The unit can not be operated with an exterior temperature above 80 degrees. Latent and concealed defects and deficiencies are excluded from this inspection; equipment, items and systems will not be dismantled. If the gas is shut off to this unit it is impossible to complete the evaluation. It is strongly recommended that you have a qualified professional perform a technically exhaustive evaluation on the equipment. Efficiency/adequacy of heat distribution throughout the building including proper air return to the heating system is beyond the scope of this inspection.

The heat exchanger(s) are not inspected during this visual inspection. Dismantling the furnaces is necessary to fully inspect the heat exchanger(s), which is beyond the scope of this inspection. We strongly recommend that a qualified professional further evaluate the heat exchanger(s) before you proceed with the purchase of this building. The life expectancy of GFA type furnaces is 15-20 years. Boilers may last a bit longer. Heating systems are mechanical devices subject to unpredictable failures. Any system over 5 years old should be serviced each year before using.

The extent of the heating system inspection is to verify only that the system went on (if possible) and cycled properly. Geo Thermal systems and related equipment require a technically exhaustive inspection by a qualified professional who specializes in these types of heating systems. Heat pumps have proven to be inefficient in this climate.

THE HEAT EXCHANGER AND HEAT DISTRIBUTION EFFICIENCY IS BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THIS ITEM EVALUATED BY A QUALIFIED PROFESSIONAL IN THAT FIELD.

Basement Heating System

Type: Forced air Capacity: Forced air
Fuel Type: Natural gas

Defective

Overview: Furnace existing beyond design life, Evidence of past condensation pan leaks, Corrosion suggesting past water leakage from condensate pipe, Very dirty, Poorly maintained, Yellow flame pattern suggesting that the unit does not have a proper gas/air mixture, Extensive rust, Expect to replace, Operational at time of inspection, Recommend a qualified contractor further evaluate for repairs, replacement and cost

Heating System (Continued)

Overview: (continued)



Not Inspected

Heat Exchanger: Not fully visible for inspection Excessive rust, Recommend inspection by a qualified heating specialist



Marginal

Distribution: Metal duct Not balanced, Openings in ducts that reduce the efficiency of distribution, Monitor and repair or replace as needed



Heating System (Continued)

Defective

Humidifier: Flow-through Needs cleaning, Calcification observed, Evidence suggesting past leaks, Older unit expect to replace, A qualified contractor is recommended to evaluate and estimate repairs



Acceptable

Filter: Disposable



Attic

The inspection of the attic will be of the readily accessible areas and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled and insulation will not be removed to inspect under it. If the access is sealed or there is no access, no attic stairs or pull down, the attic may be inaccessible and therefore not inspected. Lacking access, the inspector will not be able to inspect the attic insulation, framing, ventilation or search for evidence of current or past roof leaks, ventilation and moisture issues or vermin activity. If access was restricted, the inspection of the attic and its components should be considered incomplete. It is strongly recommended that you Gain access to these areas and have them further evaluated. Recessed lights that are covered with insulation are a potential fire hazard they should not be covered and they should be IC rated. Uncover them and verify that they are IC rated repair/replace as needed for safety.

Recommended insulation levels in this climate are 10"-12". Improvements can pay for themselves in a couple of years. Insulation will not be moved or lifted, therefore installation of vermiculite may not be discovered if it has been covered and concealed with other types of insulation. Insulation should not be installed against the roof structure. Moisture problems, mold and rot can occur as a result. It is suggested that you periodically check your attic to ensure proper ventilation. The coldest season of the year is the best time to do this. Look for ice and moisture build up particularly around the roofing nail tips. If ice or moisture are found, improvement to the ventilation may be indicated. If the attic has ridge or roof vents combined with gable vents it is advised that the gable vents be closed/sealed. Keep in mind that poor attic ventilation prematurely ages the roofing materials and can cause moisture and mold problems in the attic cavities.

All accessible areas Attic

Method of Inspection: From the attic access points

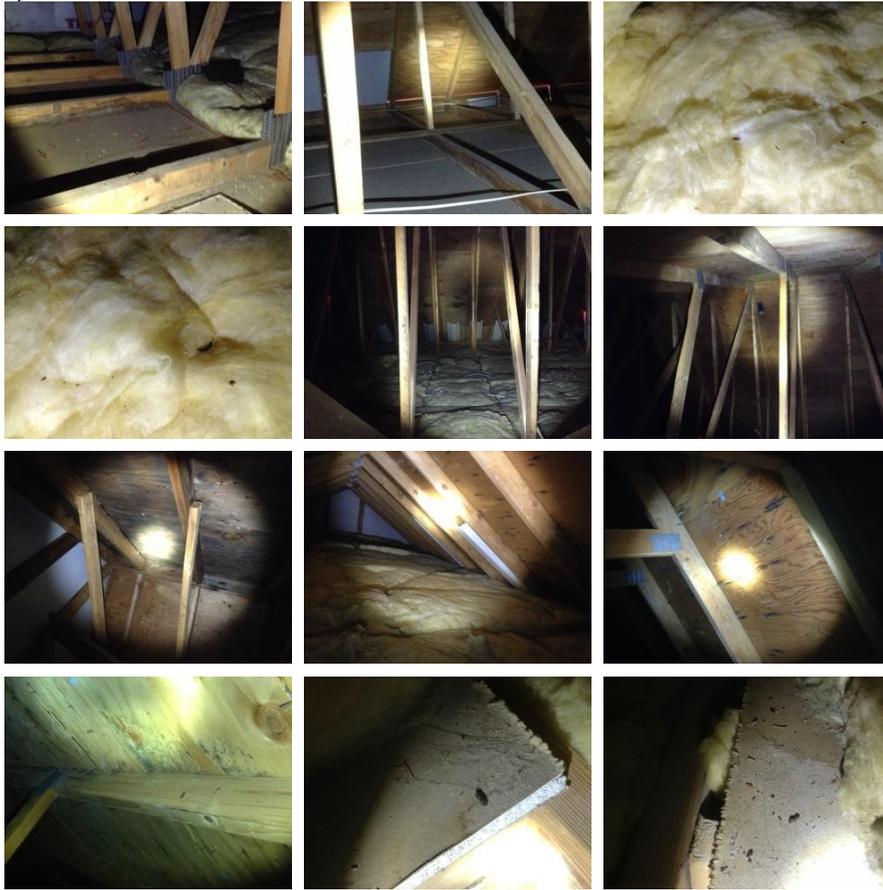
Defective

Overview: Poor ventilation, Evidence suggesting rodent activity, Evidence of moisture stains at the nail tips suggesting past over humidification, Observations made and relate to the accessible areas only, Have the attic further evaluated by a qualified contractor for repair, replacement and cost



Attic (Continued)

Overview: (continued)



Not Inspected
Acceptable

Unable to Inspect: Some areas
Roof Framing: Wood, Truss

Some areas not accessible



Marginal

Sheathing: Plywood Water stains present, Discoloring due to moisture, Mold noted, Evidence suggesting over humidification and moisture stains at the nail tips, Have mold and mold mitigation needs evaluated by a qualified mold mitigator, indoor air quality testing by a third party is advised before mitigation begins and once mitigation is completed to validate mitigation was successful

Marginal

Ventilation: Gable, roof and soffit vents Insufficient ventilation for size of structure, Deficient ventilation evidenced by the mold stains

Attic (Continued)

Ventilation: (continued)

on the roof structure, Monitor for signs of over humidification and correct as needed

Marginal

Insulation: Fiberglass Recommend additional insulation be installed



Marginal

Insulation Depth: 8-12"

Kitchen

The inspection of the kitchen(s) will be of readily accessible areas and is limited to visual observations of apparent conditions at the time of inspection only. The appliances and their connections are beyond the scope of this inspection. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled.

If the utilities are shut off to this building the inspection of the Plumbing/gas and electrical systems should be considered incomplete. When utility services are shut off it is strongly recommended that you get closure regarding their condition and operation.

THE FUEL AND POWER SUPPLY CONNECTIONS TO THE APPLIANCES TYPICALLY ARE CONCEALED BEHIND OR BELOW INSTALLED APPLIANCES AND ARE BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL.

Main Floor Kitchen

Marginal

Overview: Older worn cabinets, Older worn sink, Amateur plumbing, Improper drain slope, Monitor and repair or replace as needed



Acceptable

Electrical:



Kitchen (Continued)

Marginal Counters/ Cabinets: **Older worn cabinets, Monitor and repair or replace as needed**



Marginal Plumbing/Fixtures: **Amateur drain line installation, Improper drain slope under sink, Monitor and repair as needed**



Acceptable Floor:



Interior Space

The inspection of the interior space will be of readily accessible areas and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled.

Furniture and personal belongings are not moved. Some areas may have restricted access and may not have been visible at the time of the inspection. Where carpeting has been installed, the materials and condition of the floor underneath cannot be determined. Prior to completing the purchase it would be to your advantage to see if any areas not accessible or visible at the time of the inspection have problems. Odors and stains are common in previously occupied buildings. These problems cannot be positively identified in a general visual inspection. Things like windows and outlets are randomly inspected and evaluated as a group rather than as individual items. Stress cracking and nail pops are typical and likely do not indicate any structural problems with the building. Please verify that all screens and/or storms not in place at the time of the inspection are present, in satisfactory condition and operable.

INTERCOMMS, ALARM SYSTEMS, WINDOW TREATMENTS, ELEVATORS/ STAIR LIFTS, DECORATING/COSMETICS INFESTATION OF INSECTS/ANIMALS, ENVIRONMENTAL ISSUES AND CENTRAL VACUUM SYSTEMS ARE BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL.

All accessible areas Interior Space _____

Marginal Overview: **Some patching noted, Monitor and repair as needed**



Interior Space (Continued)

Overview: (continued)



Marginal

Ceiling: Drywall Patched areas, Cracking, Nail pops, Areas suggesting past water damage, Recommend a qualified contractor further evaluate for repair, replacement and cost



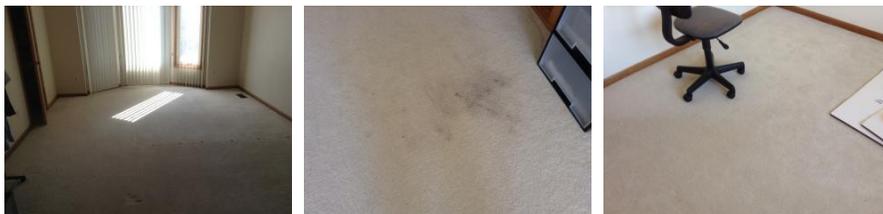
Marginal

Walls: Drywall Cracking, Nail pops, Areas suggesting past leakage, Monitor and correct as needed



Marginal

Floors: Typical for age Carpet Stained/soiled, Monitor and correct as needed



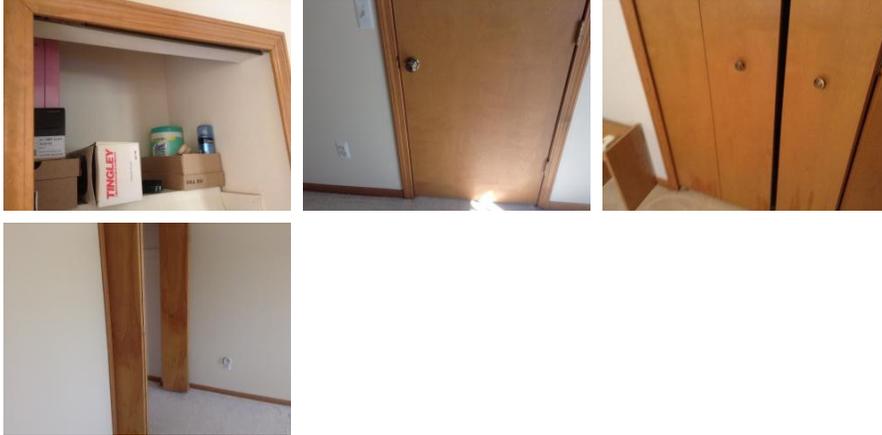
Interior Space (Continued)

Floors: (continued)



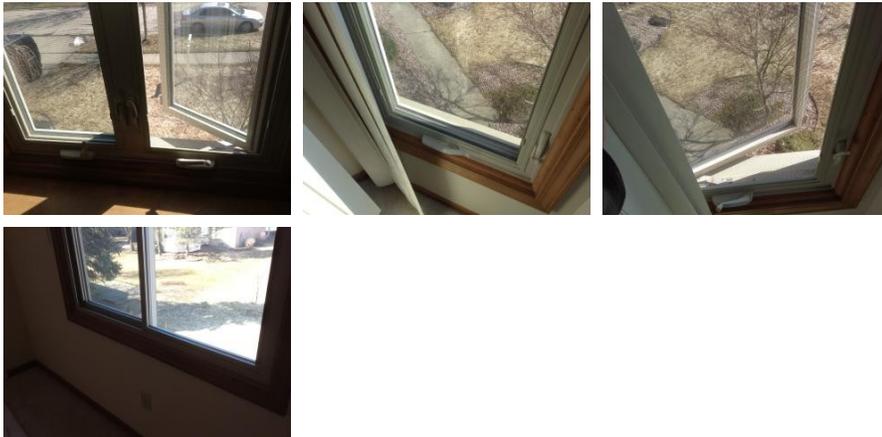
Marginal

Doors: Wood Missing some, Loose hardware



Acceptable

Windows: Vinyl



Fireplace/Wood Stove

The inspection of the fireplace(s)/wood Stove(s) will be of readily accessible areas and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled. Often times the gas is shut off to these units and the operation is not tested. The inspector will not turn the gas on and lite the pilots, You should have the owner turn the gas on, lite the pilots and demonstrate that the gas is operational.

Family Room Fireplace

Type: Wood burning

Acceptable

Overview:



Acceptable

Damper: Functional



Laundry Room/Area

The inspection of the Laundry room will be of the readily accessible areas and is limited to visual observations of apparent conditions existing at the time of the inspection only. The appliances are not considered part of this inspection and will not be included. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items, and systems will not be dismantled. If the water is shut off to this building, the inspection of the laundry room and it's components should be considered incomplete. It is strongly recommended that you get closure regarding the systems utilizing water if the water was shut off to this building.

1st Floor Laundry Room/Area

Marginal

Overview: Metal flex vent hose is a fire hazard replace for safety, Replace rubber water supply hoses with metal braided hoses



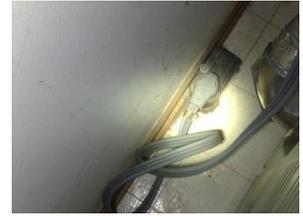
Acceptable

Laundry Tub: Functional



Laundry Room/Area (Continued)

Acceptable Powered By: **Electric**



Marginal Dryer Vent: **Flex metal** **Flex pipe is a potential fire hazard if not cleaned regularly consider replacing with rigid metal for safety and clean with regularity**



Acceptable Washer Drain: **Separate drain tube, Wall mounted**



Bathroom(s)

The inspection of the bathroom(s) will be of readily accessible areas and is limited to visual observations of apparent conditions at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled.

Correct all caulk and grout defects and deficiencies as needed to reduce the risk of leaks. The life expectancy of bath fixtures is around 20 years. Any bath fixtures older than this would be considered logical upgrade considerations. Leaks at the shower pans and tubs can not be fully determined unless the fixtures are in use and have the added component of a persons weight. Shower pans should last 12-18 years with proper installation and care. All bathrooms should have proper ventilation and GFCI outlets.

SHOWER STEAMERS, TOWEL WARMERS AND WHIRLPOOL TUBS & THE CONNECTIONS TO THEM ARE BEYOND THE SCOPE OF THIS INSPECTION AND THEREFORE NOT INSPECTED. HAVE THESE SPECIALTY ITEMS EVALUATED BY A QUALIFIED PROFESSIONAL.

1st Floor Half Bath Bathroom

Acceptable Overview:
Acceptable Electrical:



Acceptable Counters/ Cabinets:



Bathroom(s) (Continued)

Defective

Plumbing/Fixtures: Toilet handle has to be held down to properly flush, Have a qualified contractor further evaluate and repair as needed



Acceptable

Floor:



Acceptable

Ventilation:



Master Bathroom

Acceptable
Acceptable
Marginal

Overview:
Electrical:
Counters/ Cabinets: Older worn cabinets, Monitor and repair or replace as needed



Marginal

Plumbing/Fixtures: Slow sink drain, Slow tub drain, Toilet handle has to be held down to properly flush, Monitor and correct as needed



Bathroom(s) (Continued)

Plumbing/Fixtures: (continued)



Acceptable

Shower or Tub Surround:



Acceptable

Floor:



Acceptable

Ventilation:



2nd Floor Main Bathroom

Acceptable

Overview:



Acceptable
Marginal

Electrical:

Counters/ Cabinets: **Older worn cabinets, Monitor and repair or replace as needed**



Bathroom(s) (Continued)

Defective

Plumbing/Fixtures: Toilet runs on, Disconnected drain stop at tub, Slow sink drains, Have a qualified contractor further evaluate and repair as needed



Acceptable

Shower or Tub Surround:



Acceptable

Floor:



Acceptable

Ventilation:



10 Most Common Maintenance Mistakes

Do you tend to take better care of your automobile better than your property? That could be a costly mistake. Simple inexpensive maintenance chores that are ignored today can often lead to major, expensive maintenance, repair or replacement headaches tomorrow. If problems aren't discovered until your ready to sell your property, they could take a big bite out of your profits.

Let's take furnace filters as an example. You can spend \$5 or \$10 on a permanent filter, or you can buy cheap throwaways for about \$1. But if you don't buy and use either one, you may have to spend thousands. Accumulated dust and debris on the furnace and filter can shorten their life expectancies by requiring the motor and fan to work harder to pull the air through the filter. You could find yourself forking over several hundred dollars to replace the fan and motor. Or you could have to come up thousands of dollars to replace the entire furnace. Replacing filthy filters tops the "Top-10" list of maintenance items most often neglected by property owners. Please note that using filters that have a small micron opening (allergy preventative type filters) can also restrict air flow enough to shorten the life of the furnace.

Here are the other nine. Note that most involve water, which is usually noted as the No. 1 cause of deterioration of a property.

- 1). In 75 percent of the properties inspected, the caulking between the tub and surrounding wall (or shower pan and shower walls) is either deteriorated or missing altogether. If not corrected, this condition will allow water to migrate behind the walls, promoting dry rot, mold and mildew. Eventually, the wall will fail, and the removal of tile walls could cost over \$5,000. A health risk may exist. An environmental mold cleanup may become necessary, costing an additional expense.
- 2). Inoperable, improperly fitted or non-weather stripped windows and doors are discovered in about 60 percent of the buildings that are 20 or more years old. Windows and doors that do not open and close properly can be life threatening if they are needed as an escape route. In addition, climate control problems can be created if they are loose and improperly sealed, allowing conditioned air to escape. Not only does this drive up your monthly heating and cooling bills, but it also forces your furnace and air conditioner to run overtime to attain the desired temperature, shortening their life span significantly.
- 3). Leaking water supply valves under the sinks and faucets, found in 50 percent of the homes inspected, cause the floor (or wall if the faucet also is leaking) to deteriorate. If neglected, it could cause a mold problem creating a health risk and could cost anywhere from \$200 to several thousand dollars to repair the damage and clean up the mold, depending on how long the leak has been ignored.
- 4). Ivy growing up the side of your house or trees that hang over your roof can be beautiful, but both are terribly damaging. Yet, these conditions are present in about 40 percent of the properties inspected. Retained water in vegetation contributes to accelerated deterioration and rot: Ivy's root system is so strong that it can move mortar or get behind siding and pop it out, and leaves deposited on a roof are a breeding ground for degeneration. Depending on the extent of growth, you may have to re-roof or re-side your building at a cost of several thousand dollars. At best, your roof's life expectancy will be reduced by 20 percent.
- 5). About 35 percent of the properties inspected have grading problems. Even if the lot was graded properly when the building was built, -- it should slope away from the structure -- the grade can shift over time. The cause is usually heavy rain and erosion from over watering shrubs placed too close to the building. But sometimes the ground simply settles. If the ground within 10 feet of the building slopes toward the building, water will pond adjacent to the building. This can be eliminated by adding additional soil and some spade work. But if the water is allowed to remain over a period of time, it will migrate under the structure and weaken the foundation or cause water to leak into the crawl or basement. This water problem can cause foundation failures, mold and other problems. In most cases water problems to crawl spaces or basements are a direct result of poor grading or poor exterior water control.
- 6). A third of all properties also have gutters and downspouts clogged by roof debris or dead vegetation. This will allow water to back up on the roof, causing not only the roof to deteriorate more quickly, but also erosion that leads to a negative grade at the foundation. Gutters that do not function properly can also cause water problems to a basement, slab or crawl space. The downspouts should have extensions that direct the water away from the building. Some buildings don't even have a gutter system. This is a mistake that can contribute to poor exterior water control leading to basement, slab or crawl space water problems.
- 7). The exhaust fan in bathrooms without windows is either disconnected, discharging to the attic or inoperable in one out of every three properties inspected. This will allow condensation to accumulate, causing moisture damage or mold. Eventually, the walls and flooring or roof structure can rot out completely and a mold clean up expense may be incurred.
- 8). About 45 percent of the properties inspected have either worn out caulking or none at all. Deteriorated or missing caulking on the exterior walls where dissimilar materials meet can allow water to intrude into wall cavities, where it will cause the framing to rot. Caulking wears out. It shrinks, cracks, blisters and hardens, so it needs to be evaluated annually. If it goes unchecked and, when necessary, replaced, you may end up replacing the sill plates, interior studs and framing at a cost of several thousand dollars.
- 9). If you don't want to spend money to replace your air conditioning system prematurely, make sure the condensing unit outside is ventilated adequately. In 10-15 percent of the properties inspected, they are not. Landscaping, overgrowth, vegetation, aesthetic walls and enclosures all can limit or prevent the condenser's ability to take in and release air for cooling purposes. If that's the case, the motor and fan must work harder, shortening the unit's life expectancy. The easiest remedy is to remove the obstruction. The data plate on the unit should list the proper clearance specifications.

Be vigilant and stay on top of the overall condition of your building, addressing defects and deficiencies early on so that you will save

10 Most Common Maintenance Mistakes (Continued)

money, time and frustration. Set up a regular inspection and maintenance schedule that ensures that your building is adequately maintained. This will help you get the optimum performance and life out of the different components and systems of your building.

Maintenance

Although we all have heard it many times, nothing could be more true than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to protect your comfort level and resale value. Maintenance reduces the risk and occurrence of unexpected repairs.

Upon Taking Ownership

After taking possession of this building, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you organize and take care of some important items:

Change the locks on all exterior entrances, for improved security.

Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Consideration could also be given to a security system.

Install smoke detectors on each level of the building. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.

Create a plan of action in the event of a fire in your building. Ensure that there is an operable window or door in every room of the building. Consult with your local fire department regarding fire safety issues and what to do in the event of fire.

Examine driveways and walkways for trip hazards. Undertake repairs where necessary.

Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.

Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.

Review your inspection report for any items that require immediate improvement or further investigation. Address these areas as required.

Install rain caps and vermin screens on all chimney flues, as necessary.

Investigate the location of the main shutoffs for the plumbing, heating and electrical systems. If you attended the inspection, these items would have been pointed out to you.

Regular Maintenance Every Month

Check that fire extinguisher(s) are fully charged. Re-charge if necessary. Examine heating/cooling air filters and replace or clean as necessary.

Inspect and clean humidifiers and electronic air cleaners.

If the building has hot water heating, bleed radiator valves.

Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate. Remove debris from window wells.

Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.

Repair or replace leaking faucets or shower heads.

Secure loose toilets, or repair flush mechanisms that become troublesome.

Regular Maintenance Spring and Fall

Replace smoke detector batteries.

Have the heating, cooling and water heater systems cleaned and serviced.

Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.

Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.

If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).

If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventative treatments may be recommended in some cases.

Regular Maintenance Annually

Examine the roof for evidence of damage to roof coverings, flashing and chimneys.

Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity.

Level out insulation if needed.

Trim back tree branches and shrubs to ensure that they are not in contact with the building.

Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect

Maintenance (Continued)

activity.
Survey the basement and/or crawl space walls for evidence of moisture seepage.
Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
Ensure that the grade of the land around the building encourages water to flow away from the foundation.
Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood window frames. Paint and repair window sills and frames as necessary.
Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.
Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.
Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the building.
Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
Replace or clean exhaust hood filters.
Clean, inspect and/or service all appliances as per the manufacturer's recommendations.

Emergency Planning and Checklists

When disaster strikes, you may not have much time to act. Prepare now for an emergency.

Learn how to protect yourself and cope with disaster by planning ahead. During an emergency, stay tuned to your local radio or television station for more information. The following checklists will help you get started. Discuss these ideas with your family, then prepare an emergency plan. Post the plan where everyone will see it--on the refrigerator or bulletin board.

Emergency Kit Checklist

High Priority Items:

- Battery-powered radio with batteries
- Flashlights or battery-powered lantern with batteries
- Water to last three days, at least one gallon per person per day
- Food, at least a three-day supply of non-perishable items
- Manual can opener
- First aid supplies
- A watertight, portable container for important papers
- Prescription medications with a current list
- Blankets
- Infant formula, diapers, and wipes
- Pet supplies
- Non-prescription drugs
- Toilet paper
- Paper towels
- Bleach
- Vinegar
- Disinfectant
- Personal hygiene products
- Small mirror
- Feminine supplies
- Plastic sheeting and duct tape
- Dust mask
- Garbage bags
- Signal flare
- Whistle
- Matches in a waterproof container
- Jumper cables
- Toys and games for kids

For Children:

- Baby formula/food for at least three days
- Diapers for at least three days

Emergency Planning and Checklists (Continued)

- Bottles for at least three days
- Powdered milk for at least three days
- Medications for at least one week
- Games/Activities
- Special toy for comfort
- Wet wipes
- Extra sets of clothing (check sizes every three months)
- Anti-rash ointment
- Emergency contact information in case you are separated from loved ones during an emergency
- Identify a meeting place in case you get separated
- Blankets

For Adults:

- One-week minimum supply of any prescription drugs (heart, high blood pressure medication, insulin, etc.)
- Denture needs
- Contact lenses and supplies
- Extra eyeglasses
- Playing cards and books
- Lip balm and sunscreen

For People with Special Needs and Seniors:

- One-week minimum supply of prescription medications and dosage information (including inhalers, insulin, etc.)
- Medical equipment and information on how it's used
- Extra eyeglasses, contacts and hearing aids
- Extra batteries for medical equipment (hearing aids, wheelchairs, portable oxygen units, etc.)

Important Documents Folder in Water-Proof Container:

- Recent family photos including photos of pets (use your phone at the beginning of a trip).
- Copies of Medicare/Medicaid and health insurance cards.
- Copies of birth certificates.
- Copies of drivers' licenses.
- Copies of homeowner and car insurance policies.
- Bank account numbers.
- Cash.
- Local and state maps.
- Pre-paid phone cards.

Once you have these basic items, build a more extensive kit.

Family Emergency Planning

Your family may not be together when disaster strikes.
It is important to plan in advance how to contact each other and where you will go or can be found.

Family Emergency Plan:

- Compile a list of contact information for family member.
- Cell phones may not work during an emergency if the system is overwhelmed so consider a variety of phone options.
- Text messages are stored until they can be delivered and will remain delivered until read.
- Learn to send text messages for emergency purposes.
- Establish an out- of- town contact.
- Keep a map in your kit if you are unfamiliar with area roads.
- Designate a meeting place in case family members get separated.
- Remember to include your pets in your emergency plan.
- Review and store insurance policies and other secure documents in a safe location where you can easily retrieve them if you need to evacuate.

Implementing Your Plan:

Emergency Planning and Checklists (Continued)

Make sure every family member, including children, understands the family emergency plan.
Ask about emergency plans at your family's workplaces, daycare centers, and schools.
Talk to your neighbors about working together in the event of an emergency.
Practice and update your emergency plan.
Remember to change smoke alarm batteries when moving clocks ahead

Severe Thunderstorms

Thunderstorms bring the risks of lightning strikes, injury or damage from hail, high winds and power outages.

Before a storm:

Go indoors, if possible.
Avoid standing under trees or other tall, open structures.
Leave the water immediately if swimming in pools or lakes.
If boating, go to land and seek shelter immediately.
Have your flashlight or battery operated lanterns ready.

During a storm:

Don't use corded telephones (cell phones are safe), Computers, wash dishes or take a bath/shower; lightening can strike plumbing and electrical wires.
Stay away from windows.
If inside a car, do not touch anything metal.
If outside, seek a low-lying away from trees or other tall structures.
When thunder roars, go indoors!

After a storm:

Stay away from storm-damaged areas.
Listen to the radio or television for information on conditions in your area.

Flooding

Flooding is a sudden, devastating and deadly natural disaster that occur in areas with no history of previous flooding

Before a flood:

Make sure your flood insurance policy is up-to-date.
Check supplies in your 72-hour kit.
Keep your car fueled..
Purchase a weather alert radio.

During & after a flood:

Follow all emergency instructions given by local authorities regarding evacuation.
Never drive through standing water-"Turn Around, Don't Drown".
Do not let children play in flood waters; it is polluted and dangerous.
If fresh food has come in contact with floodwater, throw it out.
Boil drinking water before using.
Test wells for contamination after a flood.

Pet Safety

Pets are important members of many households. Be sure to include your pets in your emergency plans

Evacuation:

If at all possible, take your pets with you.
Before you go to a hotel or shelter, make sure that they accept pets. If you cannot take your pets, develop a "buddy system" with neighbors

Emergency Planning and Checklists (Continued)

to make sure that pets will be cared for, or arrange to board them with a friend, relative or professional outside of the affected area.

An emergency supply kit for your pet should include:

Three days of food or water.
A waterproof container in which to keep medications and medical records.
Extra collar, identification tag, leash and emergency information.
Crate or pet carrier.
Sanitary supplies-newspapers, paper towels, plastic bags, litter box.
Photo of you with your pets (to aid with identification if you get separated).
Familiar items such as toys, bedding, treats etc.

Take the time now to get your emergency plans and supplies ready! Hopefully you you never need them!

What To Do Now That You Have Read The Report

First and foremost, if there is anything that you do not understand in this report call our office immediately. We will be happy to answer your questions and explain the findings reported.

What if the inspection and report reveal problems? If there are problems found during the inspection, it is up to you to make the decision of whether or not you want to buy the property.

Problems found during an inspection do not necessarily mean you shouldn't buy the home. By having the inspection you will know in advance what type of repairs to anticipate. A seller may even be willing to make repairs of the significant problems discovered during the inspection.

Almost all properties have some flaws, and it doesn't matter how well maintained the property may be. Flaws should not affect a buyer's purchase decision. If major defects are revealed, such as the structure, mold, water leaks, rot, etc., you may decide to re-negotiate your offer. If your budget is tight, or if you do not wish to become involved in future repair work, you may decide that this is not the property for you. The choice is yours. It is possible that remodeling is not the route you may want to go. In this case, find something that doesn't require as much work.

Minor repairs are to be expected and can be addressed after closing. Major problems can cause a negotiation of the asking price between the buyer and seller. If the seller is not willing to change the asking price, then you can request that the problems be repaired. If the problems are costly and the seller refuses to work with you, it may be in your best interest to walk away. Remember it's always your decision.

You have at least 4 options after the inspection has been completed. Your attorney or Realtor may be able to suggest more. Your attorney should be consulted for any legal advice regarding your decisions.

1. If you feel there are too many items identified that need repairing and it is too costly to address these issues, then walk away, as it is your right to do so. Both parties will sign a Mutual Release and You receive your deposit money back, in full.
2. A second option, if you feel the remedies are too costly and are unexpected, is to submit an Amendment asking the Sellers for a reasonable price reduction to compensate you for the deficiencies identified that require immediate repair.
3. A third option, and one which I don't normally recommend, is for you to request the Seller to remedy the deficiencies found. This can lead to difficulties, as one person's meaning of "workmanlike manner" does not necessarily have the same meaning as the others. The work could be hastily done, and done incorrectly, causing you problems in the future.
4. The fourth option, You may be happy with the report and decide to proceed ahead with your purchase!!

Just remember, there is no such thing as a perfect home. All property inspections will reveal some small items that will need attention, now or in the future. These typically are issues that do not lead to a decision to walk away from the home. The purpose of the inspection is to look for major problems such as structural defaults, cracks in the foundation, shingles in dire need of replacing, a furnace is on it last leg, etc. Small items such as a leaky faucet or an outlet that doesn't work are not reasons to back out of a deal. Also included in your inspection and report are items that should be maintained and monitored over the course of the next several year.

YOU SHOULD SEEK THE ADVICE OF AN ATTORNEY REGARDING LEGAL QUESTIONS YOU MAY HAVE

What To Do Now That You Have Read The Report (Continued)

I would like to thank you for using our service and invite you to call with any questions regarding the maintenance, repair or replacement of any items.

Reference Links

Listed below are some web site links that you may find helpful as a homeowner. We are constantly looking to add more. If you there is a web site that you feel may be helpful to others please call us and we will be happy to add it. Thank You

Recalls Related to Building Products From Fiscal Year 2000 to Date

<http://www.cpsc.gov/cpsc/pub/prerel/category/household.html>

Vermiculite Insulation

<http://www.epa.gov/asbestos/pubs/verm.html>

Radon

<http://www.epa.gov/radon/>

Mold

<http://www.epa.gov/mold/moldguide.html>

Lead Paint

<http://www.epa.gov/lead/>

Asbestos

<http://www.epa.gov/asbestos/>

Asbestos:

<http://www.cpsc.gov/cpsc/pub/pubs/453.html>

Child Safety

<http://www.safetyathome.com/>

Indoor Air Quality

<http://www.epa.gov/iaq/>

Vinyl Siding Installation Guide

<http://chicagohomeprimer.com/editable/uploads/File/Vinyl%20Siding%20Installation%20Manual.pdf>

Building Improvement Cost Estimates

<http://www.carsondunlop.com/pdf/CDACosts.pdf>

Moisture Management

<http://www.certainteed.com/BuildingScience/Moisture-Management>

Energy Efficiency

<http://www.certainteed.com/BuildingScience/Energy-Efficiency>

Shingle Installation Specifications

http://www.sindely.cz/doc/3-Tab_SindelyNavod.pdf

Reference Links (Continued)

Hardboard Siding Installation Specifications

<http://www.axiominspection.com/images/LP%20lap%20siding%20application%20instructions.pdf>

Installation Guide for Adhered Concrete Masonry Veneer

http://www.masonryveneer.org/pdf/MVMA%20Installation%20Guide_3rd%20Edition_Final.pdf

Masonry A Best Practices Guide

<http://www.boralna.com/bricks/pdf/install-best-practices.pdf>

Solving Basement Water Problems

<http://pepin.uwex.edu/files/2010/10/waterbasement2004.pdf>

Principles of Attic Ventilation

<http://www.airvent.com/pdf/literature/PAVbooklet.pdf>

Federal Pacific Panel Boxes

<http://www.xmarks.com/site/www.inspect-ny.com/fpe/fpepanel.htm>

Deck Ledger Board Flashing Details

<http://www.engr.psu.edu/phrc/Conference/2010%20Conference/Housing/MFortney%20Presentation%202010/Residential%20Decks%20-%20%20Fortney.pdf>

Site and Foundation Water Control

http://www.epa.gov/indoorairplus/technical/moisture/1_1.html

Wall and Roof Flashing

http://www.epa.gov/indoorairplus/technical/moisture/1_8.html

Moisture Control in Basements and Crawl Spaces

http://www.epa.gov/indoorairplus/technical/moisture/1_4.html

PEX Plumbing Installation Guide

<http://0323c7c.netsolhost.com/docs/PEXDesApplGuide.pdf>

Guide to Insulating

<http://www.owenscorning.com/around/insulation/fallpromo/HomeownersGuideToInsulating.pdf>

Home Fire Prevention and Safety Tips

http://www.usfa.fema.gov/citizens/home_fire_prev/

Building Owners Resources USA.Gov

http://www.usa.gov/Citizen/Topics/Family/Homeowners.shtml#Construction_and_Renovation

A Consumer's Guide to Building Insurance

http://www.naic.org/documents/consumer_guide_home.pdf

Should You Have The Air Ducts Cleaned

www.epa.gov/iaq/pdfs/airducts.pdf

Reference Links (Continued)

Home Tips
<http://www.hometips.com/>

Not Inspected Summary

The items listed on this summary were not inspected. there may have been various reasons for not inspecting these items such as but not limited to blocked accessibility, dangerous, locked doors, no power or fuel supply, weather, snow coverage or utilities off at time of inspection. It is strongly recommended that these items be inspected to determine condition and function.

Heating System

Basement Heating System Heat Exchanger: **Not fully visible for inspection** **Excessive rust, Recommend inspection by a qualified heating specialist**

Attic

All accessible areas Attic Unable to Inspect: **Some areas** **Some areas not accessible**

Marginal Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

Structure

Foundation: **Poured** Patching noted, Cracks observed, Monitor and repair as needed
 Roof Structure: **Wood** Moisture staining noted at eaves suggesting poor ventilation, Mold, Monitor and repair or replace as needed

Roof

Overview: Some areas will tend to hold snow, ice and water and will be prone to leaks, Monitor and repair as needed
 Gutters: **Aluminum** Install down spout extensions to improve exterior water control and reduce the risk of water leakage around foundation, Gutters have negative flow and are holding water, Monitor and repair or replace as needed
 North, Roof Top Chimney Chimney: **Brick** Missing rain cap, Monitor and install as needed

Exterior

Overview: Areas open and vulnerable to water infiltration, Caulking defects, Composite siding has a history of problems expect failures, Rotted wood, Swelled composite siding, Damaged siding, Evidence suggesting poor or neglected maintenance, Peeling paint and bare wood, Monitor and repair or replace as needed
 Vulnerable to Water Infiltration? **Yes**, seal all exterior areas vulnerable to water intrusion
 Trim: **Wood** Damaged, Wood rot, Open areas vulnerable to water intrusion, Peeling paint and bare wood, Caulking defects, Checked and weathered wood, Monitor and repair or replace as needed
 Siding **Wood, Composite material, Brick** Paint peeling, Wood rot, Penetrations, Damaged, Areas vulnerable to water intrusion, Caulking defects that present opportunities for water intrusion, Composite siding has a history of failures when not properly installed or maintained, Monitor and repair or replace as needed
 Exterior Lighting: **Surface mount** Caulk round fixtures to reduce risk of water infiltration

Lots and Grounds

Deck(s): **Stained wood** Peeling stains, Checked and weathered wood, Open to vermin, Monitor and repair or replace as needed

Basement

Main Basement Sump Pump: **Submerged** Secure the cover for safety, Recommend installation of water-powered or battery powered back-up sump pump to protect basement finishes

Plumbing

Overview: Evidence of past leaks, Amateur workmanship noted, Improperly sloped drains, Monitor and correct or repair as needed
 Basement Water Heater Water Heater Operation: **Functional** at time of inspection Water heater has exceeded design life, Functional at time of inspection, Expect to replace in the near future

Electrical

Basement Electric Panel Main Breaker Size: **100 Amps** Missing screws at panel cover, Correct as needed
 Basement Electric Panel Breakers: **Copper and Aluminum** No antioxidant gel at aluminum connections, Have applied by a licensed electrician

Marginal Summary (Continued)

Overview: Amateur wiring, Loose wiring, Improperly secured wiring, Wiring running under joists, Monitor and repair as needed

Heating System

Basement Heating System Distribution: Metal duct Not balanced, Openings in ducts that reduce the efficiency of distribution, Monitor and repair or replace as needed

Attic

All accessible areas Attic Sheathing: Plywood Water stains present, Discoloring due to moisture, Mold noted, Evidence suggesting over humidification and moisture stains at the nail tips, Have mold and mold mitigation needs evaluated by a qualified mold mitigator, indoor air quality testing by a third party is advised before mitigation begins and once mitigation is completed to validate mitigation was successful

All accessible areas Attic Ventilation: Gable, roof and soffit vents Insufficient ventilation for size of structure, Deficient ventilation evidenced by the mold stains on the roof structure, Monitor for signs of over humidification and correct as needed

All accessible areas Attic Insulation: Fiberglass Recommend additional insulation be installed

All accessible areas Attic Insulation Depth: 8-12"

Kitchen

Main Floor Kitchen Overview: Older worn cabinets, Older worn sink, Amateur plumbing, Improper drain slope, Monitor and repair or replace as needed

Main Floor Kitchen Counters/ Cabinets: Older worn cabinets, Monitor and repair or replace as needed

Main Floor Kitchen Plumbing/Fixtures: Amateur drain line installation, Improper drain slope under sink, Monitor and repair as needed

Interior Space

All accessible areas Interior Space Overview: Some patching noted, Monitor and repair as needed

All accessible areas Interior Space Ceiling: Drywall Patched areas, Cracking, Nail pops, Areas suggesting past water damage, Recommend a qualified contractor further evaluate for repair, replacement and cost

All accessible areas Interior Space Walls: Drywall Cracking, Nail pops, Areas suggesting past leakage, Monitor and correct as needed

All accessible areas Interior Space Floors: Typical for age Carpet Stained/soiled, Monitor and correct as needed

All accessible areas Interior Space Doors: Wood Missing some, Loose hardware

Laundry Room/Area

1st Floor Laundry Room/Area Overview: Metal flex vent hose is a fire hazard replace for safety, Replace rubber water supply hoses with metal braided hoses

1st Floor Laundry Room/Area Dryer Vent: Flex metal Flex pipe is a potential fire hazard if not cleaned regularly consider replacing with rigid metal for safety and clean with regularity

Bathroom(s)

Master Bathroom Counters/ Cabinets: Older worn cabinets, Monitor and repair or replace as needed

Master Bathroom Plumbing/Fixtures: Slow sink drain, Slow tub drain, Toilet handle has to be held down to properly flush, Monitor and correct as needed

2nd Floor Main Bathroom Counters/ Cabinets: Older worn cabinets, Monitor and repair or replace as needed

Marginal Summary (Continued)

Defective Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

Roof

Flashing: **Metal** Loose, Lifted areas vulnerable to leaks, Monitor and repair as needed

Lots and Grounds

Overview: Poor exterior water control expect basement water, Trip hazards at sidewalk, Trip hazards at driveway, A qualified contractor should further evaluate to determine scope of work and cost

Driveway: **Concrete** Heavy cracks in surface, Heaves in concrete causing trip hazard, A qualified contractor is recommended to evaluate and estimate repairs

Walks: **Concrete** Trip hazard, Heaved, Concrete pitted and chipped, Recommend a qualified contractor to further evaluate for repairs, replacement and cost

Steps/Stoops: **Concrete, Wood** Loose steps, Inconsistent riser is a trip hazard, Weathered and checked wood, Rotted wood steps, A qualified contractor is recommended to evaluate and estimate repairs

Grading: **Negative slope** Improper soil slope towards foundation, recommend the addition of fill dirt to improve grade, Grading has negative slope and water is pooling against the foundation. Expect leaks to the basement due to improper exterior water control, Recommend a qualified contractor further evaluate for repairs, replacement and cost

Air Conditioning

Exterior AC System A/C System Operation: **Not Tested** The unit is currently in service beyond the manufactures stated design life, To avoid possible compressor damage due to outside temperature below 60 degrees, the unit was not tested. Compressor not level, Expect to replace unit in the near future, Have further evaluated by a qualified contractor for repair or replacement costs

Garage/Carport

Side Garage Overview: Exterior same as home, Water stained and damaged areas noted suggesting past leaks, Door opener not reversing when resistance is met, Have a qualified contractor further evaluate for repair, replacement and cost

Side Garage Door Opener: **Functional** Not reversing properly with resistance, Adjust for safety

Basement

Main Basement Vulnerable to Water Infiltration? **Yes**, Correct exterior water control to reduce risk of basement water, Monitor cracks for leaks and repair as needed, Monitor rod holes for leaks and repair as needed, Evidence suggesting past water infiltration to the basement, Have the basement further evaluated for scope of work and cost to correct problems

Main Basement Overview: Evidence of water intrusion expect future problems, Expect water in basement due to poor exterior water control, Carpeting installed on the floor may provide a food source for mold, Efflorescence noted suggesting water leakage, Glass block windows restrict safe second egress out of basement, Patching noted at rod holes and cracks, Monitor rod holes for leaks and repair as needed, Monitor cracks for leaks and repair as needed, Water stain streaks running down the walls suggesting exterior siding water infiltration issues, Have the basement further evaluated to determine scope of work and cost to correct problems

Defective Summary (Continued)

Plumbing

Gas Supply Lines: **Cast iron** Leaking, Leaks marked with blue painters tape, Have a qualified contractor further evaluate for repairs, replacement and cost

Heating System

Basement Heating System Overview: **Furnace existing beyond design life, Evidence of past condensation pan leaks, Corrosion suggesting past water leakage from condensate pipe, Very dirty, Poorly maintained, Yellow flame pattern suggesting that the unit does not have a proper gas/air mixture, Extensive rust, Expect to replace, Operational at time of inspection, Recommend a qualified contractor further evaluate for repairs, replacement and cost**

Basement Heating System Humidifier: **Flow-through** Needs cleaning, Calcification observed, Evidence suggesting past leaks, Older unit expect to replace, A qualified contractor is recommended to evaluate and estimate repairs

Attic

All accessible areas Attic Overview: **Poor ventilation, Evidence suggesting rodent activity, Evidence of moisture stains at the nail tips suggesting past over humidification, Observations made and relate to the accessible areas only, Have the attic further evaluated by a qualified contractor for repair, replacement and cost**

Bathroom(s)

1st Floor Half Bath Bathroom Plumbing/Fixtures: **Toilet handle has to be held down to properly flush, Have a qualified contractor further evaluate and repair as needed**

2nd Floor Main Bathroom Plumbing/Fixtures: **Toilet runs on, Disconnected drain stop at tub, Slow sink drains, Have a qualified contractor further evaluate and repair as needed**